



Photographic Archival Recording

St Luke's Grammar School
(SSD-10291)


800 Pittwater Road, Dee Why NSW 2099

Submitted to EPM Projects

On Behalf of St Luke's Grammar School

DRAFT AUGUST 2024

REPORT REVISION HISTORY

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		Prepared by	Reviewed by	Verified by
		Kerime Danis <i>Director - Heritage</i>	Kerime Danis <i>Director - Heritage</i>	Kerime Danis <i>Director - Heritage</i>

This report has been reviewed and approved for issue in accordance with City Plan's quality assurance policy and procedures.

Acknowledgement of Country

City Plan acknowledges the First Nations Peoples upon whose lands and waters we live and work, we respect their cultural heritage and continuing connection to Country and thank them for protecting the coastline and its ecosystems through time. We acknowledge that sovereignty over these lands and waters has never been ceded and extend our respect to Elders past, present and emerging.

We proudly operate from the lands of the Gadigal, Darkinyung, Danggan Balun and Turrbal Peoples.

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1. INTRODUCTION

City Plan Heritage (CPH) has been engaged by EPM Projects on behalf of St Luke's Grammar School to prepare the following Photographic Archival Recording of 800 Pittwater Road, Dee Why (the subject site). The State Significant Development (SSD) Consent (SSD-10291) was for the change of use, and alterations and additions to two buildings at an educational establishment. Proposed re-purposing includes office spaces, learning spaces, auditorium, pool and sporting complex.

The works were approved on 19 April 2023 with the following condition (No. B12) indicating the requirement for a photographic archival recording:

PART B - PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

Heritage

*B12. Prior to the issue of any construction certificate for works at the Pittwater Road site, or alternative timing as agreed to in writing by the Planning Secretary, a **photographic archival record** of the site must be prepared in accordance with the NSW Heritage Branch guidelines titled Photographic Recording of Heritage Items using Film or Digital Capture (2006) and in accordance with the recommendations in the Heritage Impact Statement, St Luke's Grammar School prepared by City Plan Heritage Pty Ltd and dated November 2019. The archival photographic record must capture the internal and external areas of the Former Wormald Building at 800 Pittwater Road, Dee Why and any other items of heritage significance on the site. A digital copy must be submitted to the Planning Secretary, Council's Heritage Advisor and any relevant local studies collection in the locality.*

1.1. Methodology

Archival recordings can be conducted by a variety of methods, dependent upon the significance of the item, and the extent of recording required. The content of this Photographic Archival Recording is prepared in accordance with the NSW Heritage Council guidelines "Photographic Recording of Heritage Items using Film or Digital Capture". Digital images have been taken in RAW and JPEG formats.

The following report has been structured as follows:

Section 2 contains the location plan and aerial photograph of the site showing its relationship to the surrounding urban context.

Section 3 presents the statement of significance of the subject site.

Section 4 provides the base plans for photographic recording; indicating the number, location and direction, of the digital images.

Section 5 includes the photographic catalogue sheet of the digital photographs together with the colour photographic set. Coloured index prints of digital images have also been provided in this section.


This photographic archival recording has been prepared in digital format only and provided to EPM Projects via a Dropbox folder containing the digital images in two formats (RAW & JPEG) and the archival recording report (in PDF format).

1.2. Author Identification

The following photographic archival recording report has been prepared by Asmita Bhasin - Heritage Consultant (BArch, MURbanism (HeritCons), MICOMOS) and Michael Liang - Assistant Heritage Consultant (MHeritCons). Carole-Lynne Kerrigan, Assistant Director - Heritage (MCultHeritage, BA (Cultural Heritage & Museums/Anthropology), MICOMOS) and Kerime Danis, Director - Heritage (BArch, MHeritCons (Hons), Associate RAlA, M.ICOmos, NMAS, ICOMOS AdCom) have reviewed and endorsed this report.

1.3. Confirmation

CPH agrees that this photographic archival recording may be used by EPM Projects and the NSW Department of Planning, Housing and Infrastructure for its own purposes and for genuine research purposes. EPM Projects and the NSW Department of Planning, Housing and Infrastructure are granted a perpetual non-exclusive licence to make use of the copyright in all images supplied, including the right to make copies available to third parties as though they were their own images.

	Photographer
Name:	Kerime Danis
Company:	City Plan Heritage
Signature:	
Date:	25 August 2024

1.4. Distribution

Digital copies of this Photographic Archival Recording and the Measured Drawings have been prepared and provided to EPM Projects via electronic transfer in a Dropbox folder for submission to the NSW Department of Planning, Housing and Infrastructure. An electronic copy of this report has also been kept in the CPH's file.

1.5. Limitations

This photographic archival recording has only recorded the 800 Pittwater Road, Dee Why portion of the subject site as required in the SSD consent conditions. The 224 Headland Road, Curl Curl portion of the subject site was not recorded as part of this report.

2. SITE CONTEXT AND DESCRIPTION

2.1. Site Context

The subject site is located in Dee Why, a suburb within the Northern Beaches local government area (LGA) approximately 14.5 km north-east of the Sydney CBD. The subject site is approximately 1.7 km west of Dee Why Beach.

The subject site is bounded by the 'Stony Range Flora Reserve' HCA (C6) (north), Pittwater Road (north-west), Harbord Road (west), Headland Road and properties at 226, 228 and 275 Harbord Road (south-west) and St Luke's Grammar School (east) (Figure 1). The subject site is situated on the eastern side of Pittwater Road, north of the intersection with Warringah and Harbord Roads (Figure 1).

St Luke's Grammar School is a dual campus to accommodate students in kindergarten to year 12. It includes a multi-purpose hall, administration office, library resource centre, four-storey multi-purpose centre with basketball and tennis courts, class and function rooms, green areas and a two-storey car-park.

The subject site is within proximity of heritage item 'Bus Shelter' (item no. 15), listed under Part 1 of Schedule of the Warringah LEP 2011. The subject site is also within proximity of the 'Stone Range Flora Reserve' HCA (C6), listed under Part 2 of Schedule 5 of the Warringah LEP 2011.



Figure 1: Aerial image showing the subject site (indicated in red) and the surrounding context. The subject site is comprised of Pittwater Road (indicated in green) and 224 Headland Road (indicated in blue) (Source: SIX Maps 2019).

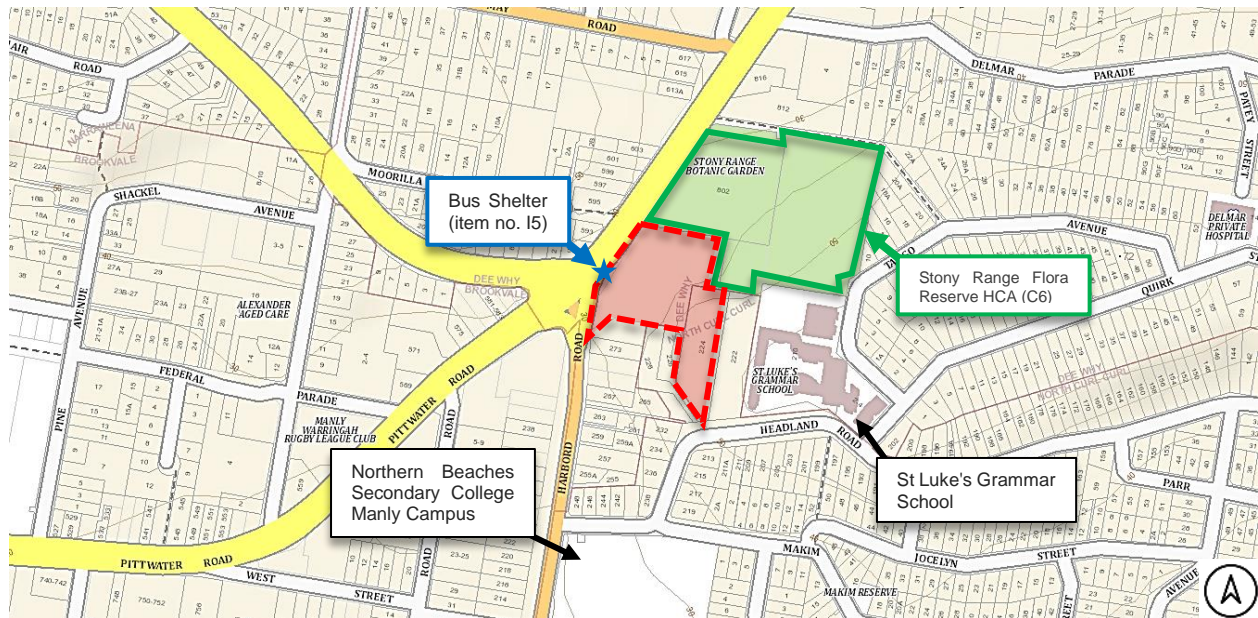


Figure 2: Cadastral map showing the subject site (indicated in red) in relation to the 'Stony Range Flora Reserve' HCA (C6) to the north-east and the 'Bus Shelter' (item no. I5) to the west (Source: SIX Maps 2019).



Figure 3: Looking west from the subject site towards the southern corner of Pittwater Road and Warringah Road. Note: Harbord Road is visible in the bottom-left corner of the image.



Figure 4: Looking north-west from the subject site towards the northern corner of Pittwater Road and Warringah Road.



Figure 5: Looking north-east along Pittwater Road towards the Bus Shelter (item no. 15).



Figure 6: Looking south from the roof of 800 Pittwater Road (Former Wormald Building, item no. 149) towards the commercial and industrial buildings.



Figure 7: Northern façade and interior to the Bus Shelter (item 15).

2.2. Site Description

2.2.1. 800 Pittwater Road

The site is an irregular shape with an approximate area of 1.00 hectares. It has a primary frontage and elevation to Pittwater Road, which in turn provides access into the site. The subject site is orientated from north to south with a gradual slope descending toward the south-west (Figure 8). The subject site is obscured when viewed from Pittwater Road to the east (Figure 9).

The subject building comprises the majority of the lot. A concrete paved customer carpark bounds the subject building to the north, west and south, accessed via Pittwater Road in the south-western corner of the site (Figure 8). The subject is listed under the Warringah LEP 2011 as an item of local significance - 'Former Wormald Building (front entrance, tower and curved former canteen only)' (item no. 149).

The Exterior

The subject building is an example of 'post-war factory architecture', with light-coloured rendered masonry walls and a prominent off-centre clocktower. The building 'steps up' to the east, in unison with the topography, with 3-4 storeys at the Pittwater frontage (Figure 8) and a single-storey warehouse at the rear, which currently houses 'Officeworks'.

Entrance to the building is gained from the Pittwater frontage (western façade) (Figure 8, Figure 10 and Figure 12). The northern-most entry provides access to the Fitness First gym via a set of steps (Figure 10 and Figure 12) and the southern entrance provides access to Officeworks, which is accessed directly from the ground level via the carpark (Figure 10). An undercover carpark is also accessible from the south with an exit located at the south-western corner (Figure 8).

The northern and southern facades are similar in style, featuring the same aluminium-framed windows (Figure 8 and Figure 11). The northern façade is unique and includes a curved 'former canteen' fitted with windows of the same design (Figure 11).

The tower is located in the northern half of the subject building. The tower is comprised of the same rendered masonry finish as the northern (Fitness First) entrance, with a large clock face on the western façade (Figure 12). Steel-framed windows bound the south-western corner (Figure 8).



Figure 8: Looking northeast toward the western façade of the subject building within 800 Pittwater Road, from the south-west corner of the site. Note: The area identified as heritage fabric is indicated in red. Original fabric (building footprint) along the western elevation includes the structure below the glazing.



Figure 9: Looking south from the northern corner of the subject site towards the carpark. Note: the land slopes down from the subject building towards Pittwater Road.



Figure 10: The western elevation of the building contains a flat overhanging roof. The building footprint retains original fabric. This includes the base of the building and columns.



Figure 11: Looking toward the northern elevation Pittwater Road and the curved former canteen. Note: The area identified as heritage fabric is indicated in red.

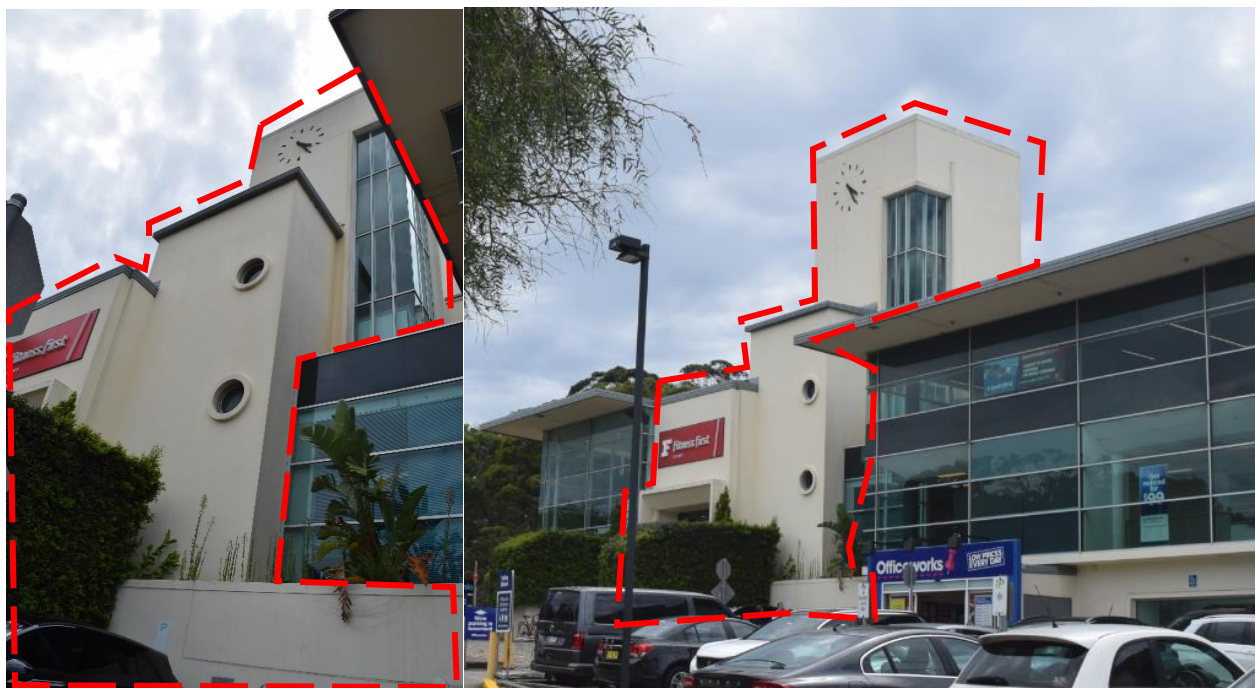


Figure 12: The clock tower is comprised of the same rendered masonry finish as the northern (Fitness First) entrance, with a large clock face on the western façade. Note: original fabric is indicated in red.

The Interior

The interior of the subject building at 800 Pittwater Road currently comprises three retail and commercial tenancies (Officeworks supply store, Fitness First gymnasium and a medical centre) and has been greatly altered since its initial construction

Officeworks

The Officeworks tenancy is accessed via the ground floor with access to the store itself by both a set of stairs and supplementary ramp. Internally the Officeworks tenancy features a large, open-plan warehouse with exposed trusses, structural beams, hanging lights and concrete walls. The fitout is standard for the Officeworks brand and features a series of stock aisles, cashiers and metal shelving throughout.

Fitness First

The Fitness First tenancy is accessed via a separate entry staircase to the reception which comprises a split level. To the north of the reception area is a café and seating area which make use of the existing former canteen and rounded design to the northern façade. The gymnasium is located down a set of stairs to the south.

The Fitness First gymnasium is comprised of three storeys and contains weights and cardio training sections, a cycle studio, and group exercise space on the top floor. Staff offices and internal tenancies, including a hair salon, are situated in the southern axis of the first floor. The swimming pool is directly behind reception and central to the layout of the gymnasium.

Medical Centre

The medical centre comprises the eastern-most (rear) extension accessed from the north.

Clocktower

The clocktower is accessed through the Fitness First reception area. Corner windows provide views from the second and third floors. A timber staircase affixed to the walls provides access to the roof of the clocktower.

The roof to the clocktower features a wooden viewing platform. The roof provides views toward 224 Headland Road to the south-east and Pittwater Road to the west.



Figure 13: Café and seating area which make use of the existing former canteen and rounded design to the northern façade.

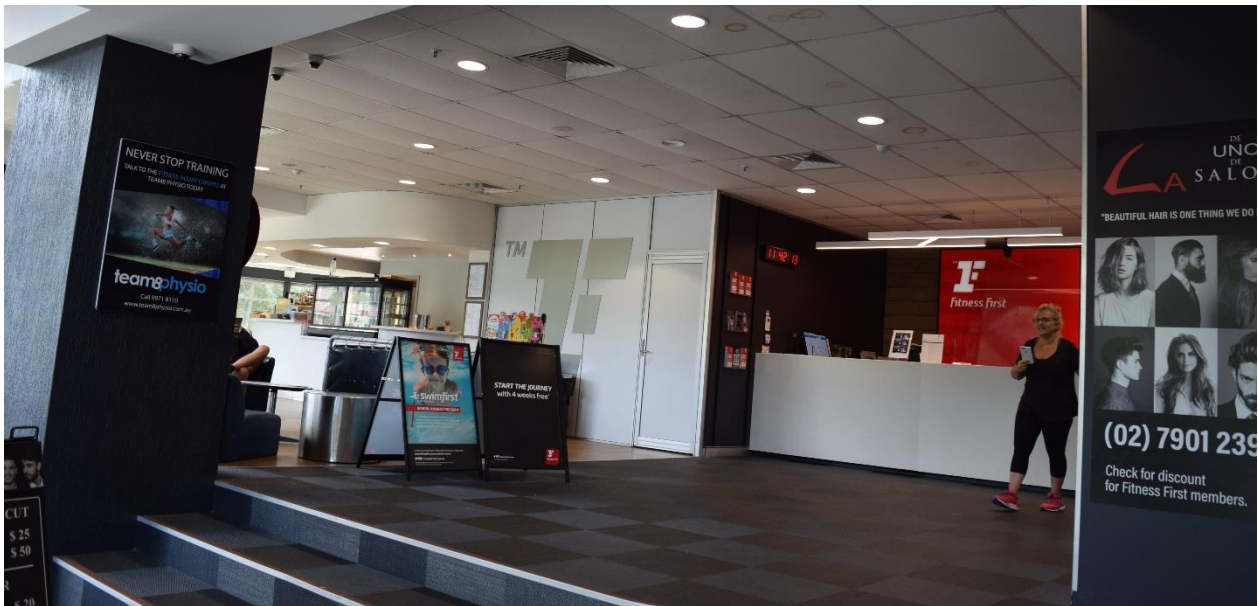


Figure 14: Looking towards the reception for the Fitness First gym. Note: the café area within the northern portion of the subject building is to the left.



Figure 15: Looking from the gym entry towards the stairs providing access to upper levels of the building (left). Looking out from the window located on the south-western corner of the clock tower (right).



Figure 16: Looking upwards within the clocktower towards the roof.



Figure 17: Looking towards the top-floor window within the clocktower. Note: Interior graffiti to the internal walls and rising/falling damp.



Figure 18: Image showing the condition of the roof-top of the clocktower including wooden platform and surface mounted conduits.

2.2.2. 224 Headland Road

Exterior

224 Headland Road consists of a multi-storey commercial building, which is roughly rectangular in shape and oriented north-south. The building sits on a sandstone outcrop and is elevated in relation to the commercial premises located to the west (Figure 19). The building is supported by large columns.

The primary entrance to the building consists of a concrete driveway, which extends from Headland Road to the south-east (Figure 21 & Figure 22) and continues around to a carpark on the western side of the building (Figure 23). The building is divided into a number of bays, separated by metal garage roller doors, which front the carpark to the west. The building features corrugated metal roof with cladding and painted panel clad walls (Figure 24).

The perimeter of the carpark to the west is bordered by a metal guardrail and fence (Figure 25). The roof of the adjacent commercial premises is located immediately to the west (Figure 25). The height of the sandstone ledge upon which the building sits can be observed from the western side of the building (Figure 26).



Figure 19: The building sits on a sandstone outcrop and is elevated in relation to the commercial premises to the west (Source: (Source: TZG Architects, May 2019).



Figure 20: The building is supported by large columns (Source: TZG Architects, May 2019).



Figure 21: The entrance to 224 Headland Road contains a driveway which continues to the west of the building (Source: TZG Architects, May 2019).



Figure 22: The primary entrance to 224 Headland Road (Source: TZG Architects, May 2019).



Figure 23: The above-ground carpark which is located on the western side of the building (Source: TZG Architects, May 2019).



Figure 24: The building contains a corrugated metal roof with painted panel clad walls.



Figure 25: The perimeter of the carpark to the west is bordered by a metal guardrail and fence (left). Views to the west include the roof of the adjacent commercial premises and over Dee Why (right).



Figure 26: The extent of the sandstone cut can be viewed from the western side of the building (Source: TZG Architects, May 2019).



Figure 27: The remainder of the building is supported on columns above a densely-vegetated and steep section of the hillside (Source: TZG Architects, May 2019).

Interior

Note: Internal access to 224 Headland Road was not obtained by CPH and the photographs have been provided by the client.

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The interior of the building at 224 Headland Road is configured as a large open warehouse with a set of three mezzanine levels, which are accessed by staircases positioned along the western wall.

The ground level consists of a number of basketball courts (Figure 28) with change room facilities located at the northern end of the building. A number of spaces are currently used for storage purposes (Figure 29 & Figure 30).

The interior walls of the building are concrete block.



Figure 28: The ground level consists of a number of basketball courts (Source: TZG Architects, May 2019).



Figure 29: A number of spaces are currently used for storage purposes (Source: TZG Architects, May 2019).



Figure 30: A number of spaces are currently used for storage purposes (Source: TZG Architects, May 2019).

3. STATEMENT OF SIGNIFICANCE

The following Statement of Significance has been obtained from the NSW State Heritage Inventory form for the 'Former Wormald Building (front entrance, tower and curved former canteen only)' (item no. 149) listed under Part 1 of Schedule 5 of the Warringah LEP 2011.

An excellent representative & relatively rare example of early post-war factory architecture. Displays high creative & technical integrity. Historically evidence of the growth of industry in the area. Socially, a landmark which many local people worked in.¹

¹ 'Former Wormald Building (front entrance, tower and curved former canteen only)', database no. 2610055, State Heritage Inventory (SHI) form, Office of Environment and Heritage, NSW Government, website accessed August 2019 via <https://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=2610055>

4. BASE PLANS

NOTE: BASE PLANS HAVE BEEN REPRODUCED FROM THE FOLLOWING DRAWINGS:

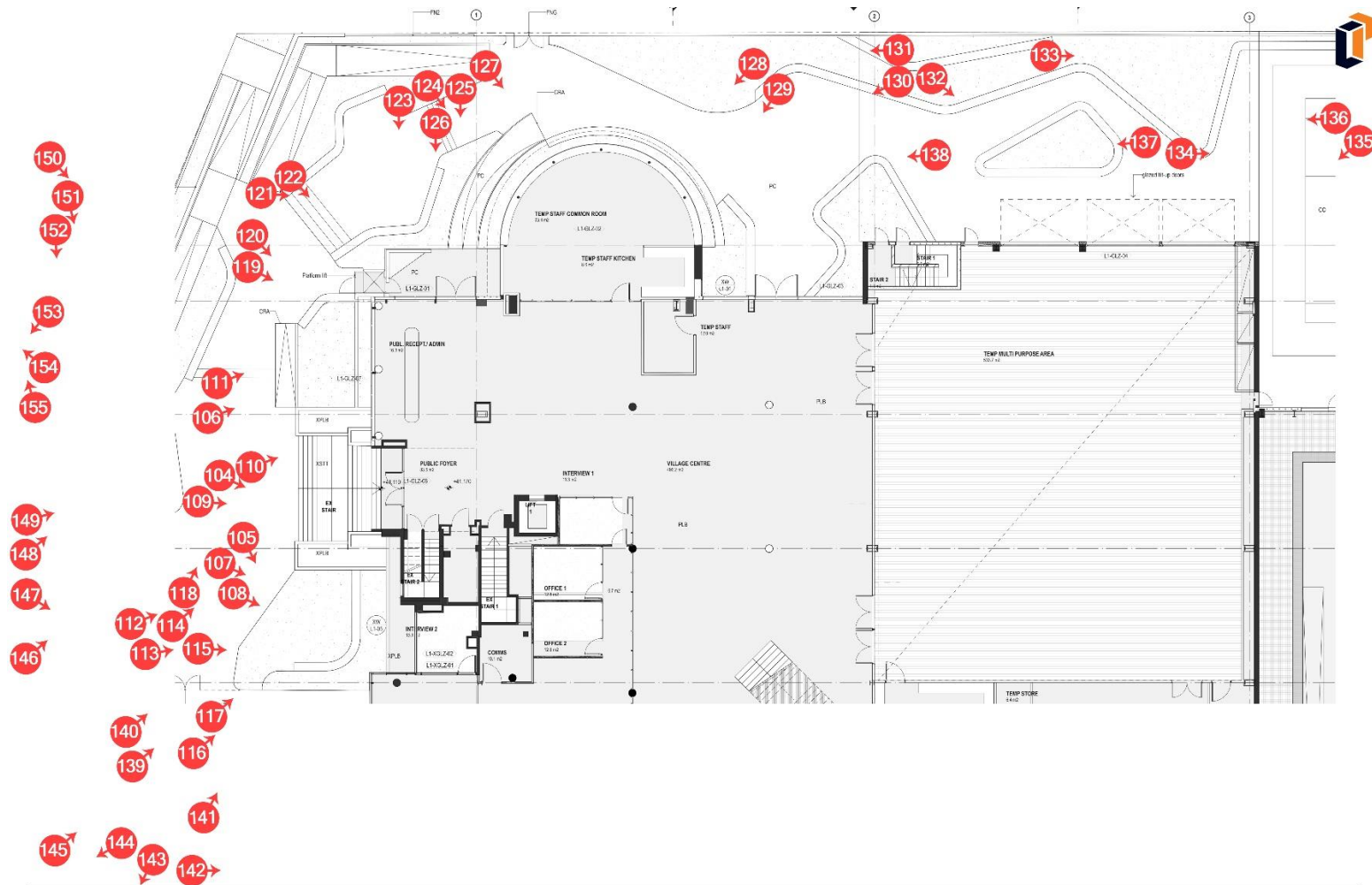
- FLOOR PLANS PREPARED BY TONKIN ZULAIKHA GREER (TZG).

EXPLANATION FOR BASE PLANS

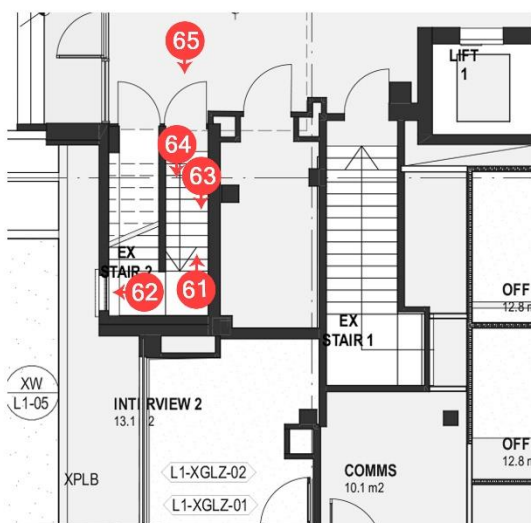
DUE TO THE LARGE NUMBER OF ARCHIVAL PHOTOGRAPHS, AND TO ENSURE THE CROSS REFERENCING NUMBERS ARE ADEQUATELY READABLE AND VISIBLE, THE PHOTOGRAPHS HAVE BEEN DIVIDED INTO DIFFERENT SECTIONS. THESE ARE:

- SITE PLAN
- CLOCK TOWER PLAN
- GROUND FLOOR PLAN
- FIRST FLOOR PLAN

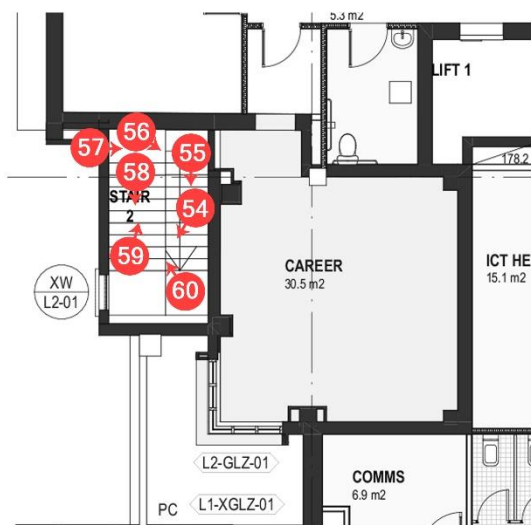
PLEASE NOTE: ALL DRAWINGS ARE NOT TO BE SCALED.



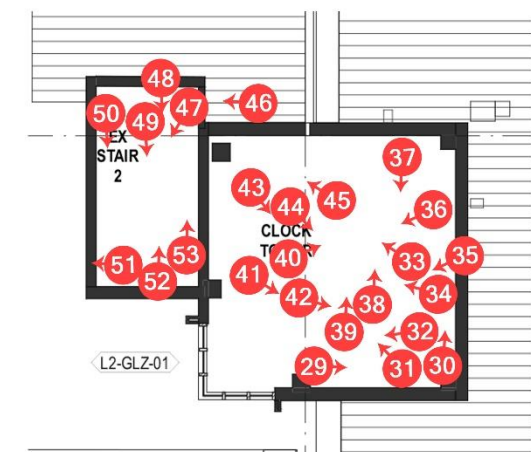
SSD-10291 - ST LUKE'S GRAMMAR SCHOOL - SENIOR SCHOOL CAMPUS - 800 PITTWATER ROAD, DEE WHY
SITE PLAN



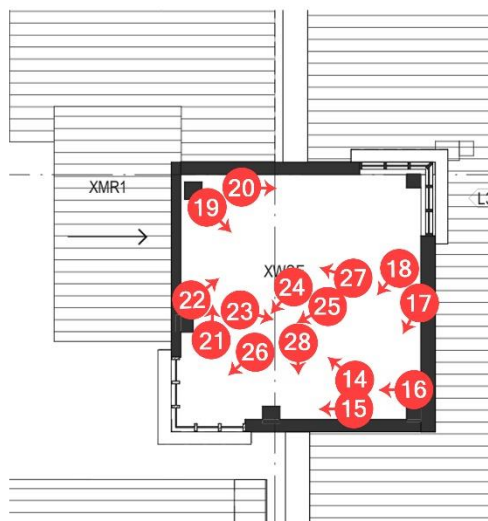
LEVEL 1



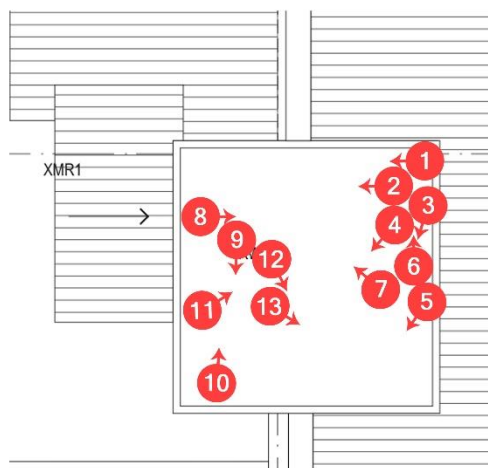
LEVEL 2



LEVEL 3



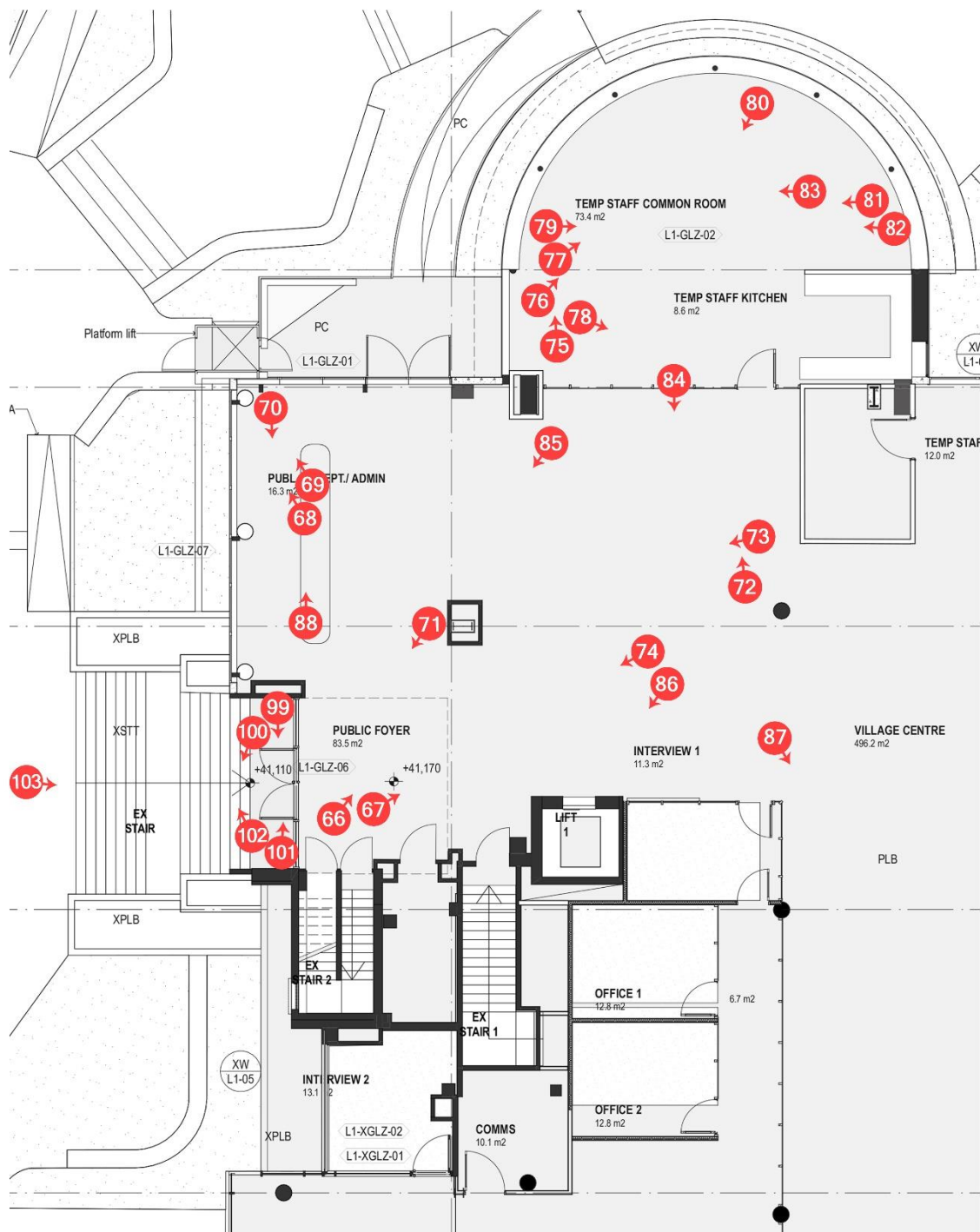
LEVEL 4



LEVEL 5

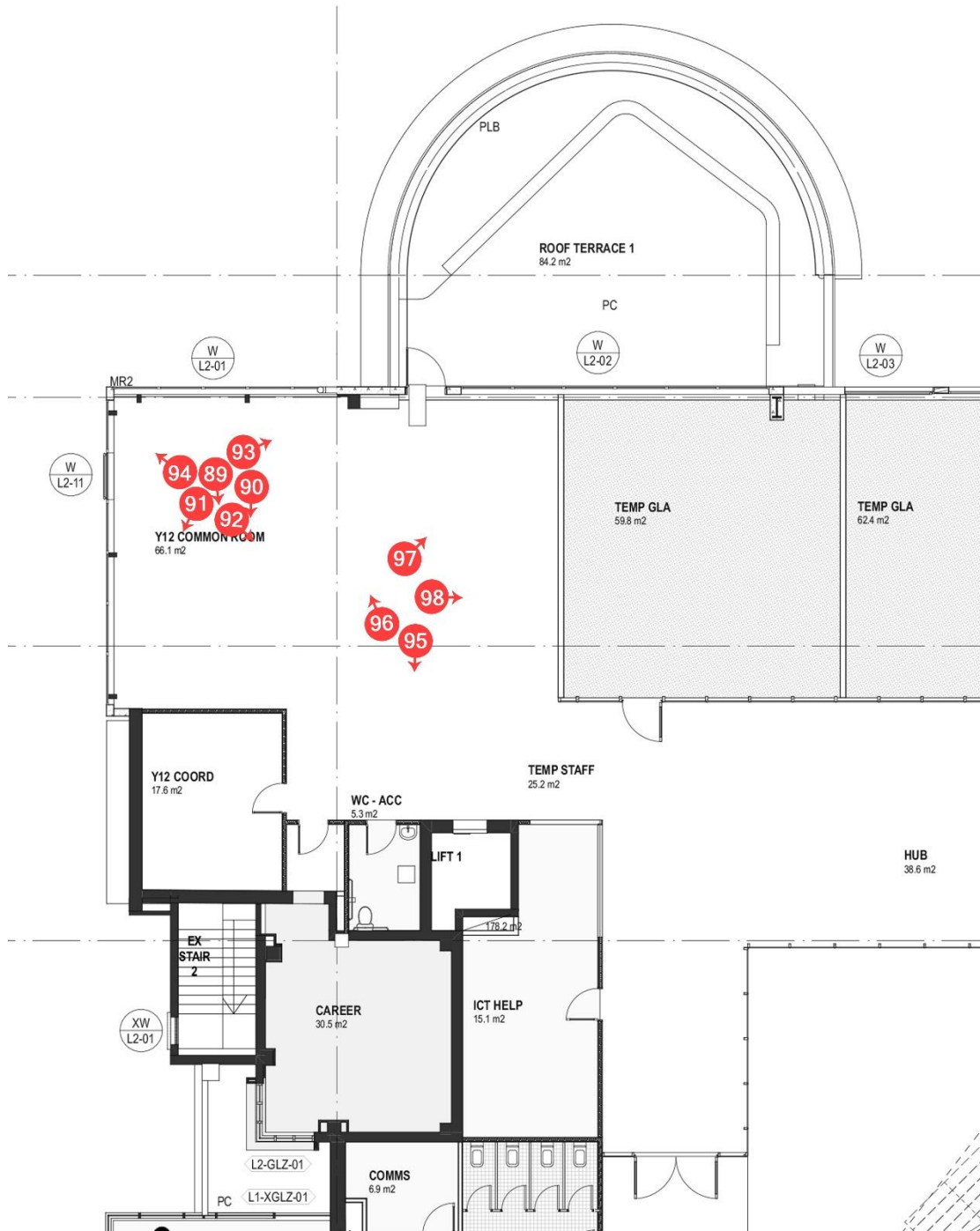
SSD-10291 - ST LUKE'S GRAMMAR
SCHOOL - SENIOR SCHOOL
CAMPUS
800 PITTPATER ROAD, DEE WHY
CLOCK TOWER





SSD-10291 - ST LUKE'S GRAMMAR SCHOOL - SENIOR SCHOOL CAMPUS
800 PITTWATER ROAD, DEE WHY NSW
GROUND FLOOR PLAN





SSD-10291 - ST LUKE'S GRAMMAR SCHOOL - SENIOR SCHOOL CAMPUS
800 PITTWATER ROAD, DEE WHY NSW
FIRST FLOOR PLAN



5. PHOTOGRAPHIC CATALOGUE SHEET & COLOURED INDEX PRINTS

Site Name:		800 Pittwater Road, Dee Why NSW 2099			
Photographer:		Asmita Bhasin		Date:	17.07.2024
Camera:	Nikon D3300	Lens:	Nikkor 18-55mm	Job No:	H24-001
Film Type:	Digital			Processing:	Archival
Film Number / Reference:		DG 1		Table 1	of 1
No:	File No:	Description			
1	DSC_0001	Exterior, clock tower plan, level 5, general view looking west			
2	DSC_0002	Exterior, clock tower plan, level 5, detail view of clocktower wall			
3	DSC_0003	Exterior, clock tower plan, level 5, general view looking southwest			
4	DSC_0004	Exterior, clock tower plan, level 5, general view looking southwest			
5	DSC_0005	Exterior, clock tower plan, level 5, view on top of stairwell vestibule			
6	DSC_0006	Exterior, clock tower plan, level 5, general view looking north			
7	DSC_0007	Exterior, clock tower plan, level 5, general view looking northwest			
8	DSC_0008	Exterior, clock tower plan, level 5, general view looking east			
9	DSC_0009	Exterior, clock tower plan, level 5, general view looking south			
10	DSC_0010	Exterior, clock tower plan, level 5, general view looking north			
11	DSC_0011	Exterior, clock tower plan, level 5, view of wooden platform looking east			
12	DSC_0012	Interior, clock tower plan, level 5, internal view of stairwell looking south			
13	DSC_0013	Interior, clock tower plan, level 5, internal view of stairwell looking southeast (down)			
14	DSC_0014	Interior, clock tower plan, level 4, internal view of stairwell looking northwest (up)			
15	DSC_0015	Interior, clock tower plan, level 4, view of stairwell landing			
16	DSC_0016	Interior, clock tower plan, level 4, internal view looking west			

Site Name:		800 Pittwater Road, Dee Why NSW 2099
17	DSC_0017	Interior, clock tower plan, level 4, internal view of stairwell looking southwest
18	DSC_0018	Interior, clock tower plan, level 4, internal view of stairwell looking southwest
19	DSC_0019	Interior, clock tower plan, level 4, internal view of clock tower looking southeast
20	DSC_0020	Interior, clock tower plan, level 4, internal view of clock tower looking east
21	DSC_0021	Interior, clock tower plan, level 4, internal view of clock tower looking northeast
22	DSC_0022	Interior, clock tower plan, level 4, internal view of clock tower looking east
23	DSC_0023	Interior, clock tower plan, level 4, view of stairwell and void, looking southeast
24	DSC_0024	Interior, clock tower plan, level 4, internal view of clock tower looking southwest
25	DSC_0025	Interior, clock tower plan, level 4, internal view of clock tower looking southwest (up)
26	DSC_0026	Interior, clock tower plan, level 4, internal view of clock tower looking southwest (down)
27	DSC_0027	Interior, clock tower plan, level 4, internal view of clock tower looking northwest
28	DSC_0028	Interior, clock tower plan, level 4, internal view of stairwell looking south (down)
29	DSC_0029	Interior, clock tower plan, level 3, internal view of stairwell looking east (down)
30	DSC_0030	Interior, clock tower plan, level 3, internal view of stairwell looking north (down) 3
31	DSC_0031	Interior, clock tower plan, level 3, internal view of stairwell looking northwest (up)
32	DSC_0032	Interior, clock tower plan, level 3, internal view of stairwell looking west
33	DSC_0033	Interior, clock tower plan, level 3, view of ventilation ducts

Site Name: 800 Pittwater Road, Dee Why NSW 2099		
34	DSC_0034	Interior, clock tower plan, level 3, internal view of clock tower looking west
35	DSC_0035	Interior, clock tower plan, level 3, internal view of clock tower looking southwest
36	DSC_0036	Interior, clock tower plan, level 3, internal view of clock tower looking south
37	DSC_0037	Interior, clock tower plan, level 3, internal view of clock tower looking north (up)
38	DSC_0038	Interior, clock tower plan, level 3, internal view of clock tower looking north
39	DSC_0039	Interior, clock tower plan, level 3, internal view of clock tower looking north
40	DSC_0040	Interior, clock tower plan, level 3, internal view of clock tower looking northeast
41	DSC_0041	Interior, clock tower plan, level 3, view underneath stairwell
42	DSC_0042	Interior, clock tower plan, level 3, view underneath stairwell
43	DSC_0043	Interior, clock tower plan, level 3, internal view of clock tower looking southeast (up)
44	DSC_0044	Interior, clock tower plan, level 3, internal view of clock tower looking southeast
45	DSC_0045	Interior, clock tower plan, level 3, internal view of clock tower looking northwest
46	DSC_0046	Interior, clock tower plan, level 3, internal view to external stairwell looking west
47	DSC_0047	Interior, clock tower plan, level 3, internal view of external stairwell looking southwest (down)
48	DSC_0048	Interior, clock tower plan, level 3, internal view of external stairwell looking south
49	DSC_0049	Interior, clock tower plan, level 3, internal view of external stairwell looking south (down)
50	DSC_0050	Interior, clock tower plan, level 3, internal view of external stairwell looking south (down)

Site Name:		800 Pittwater Road, Dee Why NSW 2099
51	DSC_0051	Interior, clock tower plan, level 3, view from external stairwell across Pittwater Road
52	DSC_0052	Interior, clock tower plan, level 3, internal view of external stairwell looking north (up)
53	DSC_0053	Interior, clock tower plan, level 3, internal view of external stairwell looking north (down)
54	DSC_0054	Interior, clock tower plan, level 2, internal view of external stairwell looking southwest (up)
55	DSC_0055	Interior, clock tower plan, level 2, internal view of external stairwell looking south
56	DSC_0056	Interior, clock tower plan, level 2, internal view of external stairwell looking southeast (down)
57	DSC_0057	Interior, clock tower plan, level 2, internal view of external stairwell looking east
58	DSC_0058	Interior, clock tower plan, level 2, internal view of external stairwell looking south (down)
59	DSC_0059	Interior, clock tower plan, level 2, internal view of external stairwell looking north (up)
60	DSC_0060	Interior, clock tower plan, level 2, detail view of metal handrail
61	DSC_0061	Interior, clock tower plan, level 1, internal view of external stairwell looking north (down)
62	DSC_0062	Interior, clock tower plan, level 3, view from external stairwell across Pittwater Road
63	DSC_0063	Interior, clock tower plan, level 1, internal view of external stairwell looking south (up)
64	DSC_0064	Interior, clock tower plan, level 1, internal view of external stairwell looking south (up)
65	DSC_0065	Interior, clock tower plan, level 1, view of external stairwell entrance, looking south
66	DSC_0066	Interior, ground floor plan, public foyer, general view looking northeast
67	DSC_0067	Interior, ground floor plan, public foyer, general view looking east

Site Name:	800 Pittwater Road, Dee Why NSW 2099	
68	DSC_0068	Interior, ground floor plan, public foyer, general view looking northwest
69	DSC_0069	Interior, ground floor plan, public foyer, general view looking northwest (up)
70	DSC_0070	Interior, ground floor plan, public foyer, general view looking south
71	DSC_0071	Interior, ground floor plan, public foyer, general view looking southwest
72	DSC_0072	Interior, ground floor plan, café, general view looking north
73	DSC_0073	Interior, ground floor plan, café, general view looking west
74	DSC_0074	Interior, ground floor plan, café, general view looking southwest
75	DSC_0075	Interior, ground floor plan, café, general view looking north
76	DSC_0076	Interior, ground floor plan, café, general view looking northeast
77	DSC_0077	Interior, ground floor plan, café, detail view of ceiling, looking northeast
78	DSC_0078	Interior, ground floor plan, café, general view looking southeast
79	DSC_0079	Interior, ground floor plan, café, general view looking east
80	DSC_0080	Interior, ground floor plan, café, general view looking southwest
81	DSC_0081	Interior, ground floor plan, café, general view looking west
82	DSC_0082	Interior, ground floor plan, café, detail view of ceiling, looking west
83	DSC_0083	Interior, ground floor plan, café, detail view of ceiling, looking west
84	DSC_0084	Interior, ground floor plan, café, general view looking south
85	DSC_0085	Interior, ground floor plan, public foyer, general view looking southwest
86	DSC_0086	Interior, ground floor plan, public foyer, general view looking southwest
87	DSC_0087	Interior, ground floor plan, public foyer, general view looking southeast
88	DSC_0088	Interior, ground floor plan, public foyer, view of staircase, looking north

Site Name:	800 Pittwater Road, Dee Why NSW 2099	
89	DSC_0089	Interior, first floor plan, staircase, view of staircase, looking south (down)
90	DSC_0090	Interior, first floor plan, staircase, general view looking south
91	DSC_0091	Interior, first floor plan, staircase, general view looking southwest
92	DSC_0092	Interior, first floor plan, staircase, general view looking southeast
93	DSC_0093	Interior, first floor plan, staircase, general view looking northeast
94	DSC_0094	Interior, first floor plan, staircase, general view looking northwest (up)
95	DSC_0095	Interior, first floor plan, first floor, general view looking south
96	DSC_0096	Interior, first floor plan, first floor, general view looking northwest into existing gym
97	DSC_0097	Interior, first floor plan, first floor, general view looking northeast
98	DSC_0098	Interior, first floor plan, first floor, general view looking east
99	DSC_0099	Exterior, ground floor plan, concrete carpark, view of front entrance, looking south
100	DSC_0100	Exterior, ground floor plan, concrete carpark, view of front steps, looking southwest (down)
101	DSC_0101	Exterior, ground floor plan, concrete carpark, view of front entrance, looking north
102	DSC_0102	Exterior, ground floor plan, concrete carpark, view of front steps, looking northwest (down)
103	DSC_0103	Exterior, ground floor plan, concrete carpark, view of front steps, looking east
104	DSC_0104	Exterior, ground floor plan, concrete carpark, view of clock tower, looking southeast (up)
105	DSC_0105	Exterior, site plan, concrete carpark, general view looking southeast
106	DSC_0106	Exterior, site plan, concrete carpark, general view looking northeast (up)
107	DSC_0107	Exterior, site plan, concrete carpark, view of clock tower, looking southeast (up)
108	DSC_0108	Exterior, site plan, concrete carpark, view of clock tower western elevation, looking southeast (up)

Site Name:	800 Pittwater Road, Dee Why NSW 2099	
109	DSC_0109	Exterior, site plan, concrete carpark, view of sign, looking east (up)
110	DSC_0110	Exterior, site plan, concrete carpark, soffit detail, looking east (up)
111	DSC_0111	Exterior, site plan, concrete carpark, soffit detail, looking northeast (up)
112	DSC_0112	Exterior, site plan, concrete carpark, general view looking east (up)
113	DSC_0113	Exterior, site plan, concrete carpark, view of clock tower western elevation, looking east (up)
114	DSC_0114	Exterior, site plan, concrete carpark, general view looking northeast
115	DSC_0115	Exterior, site plan, concrete carpark, view of clock tower western elevation, looking east (up)
116	DSC_0116	Exterior, site plan, concrete carpark, general view looking northeast
117	DSC_0117	Exterior, site plan, concrete carpark, view of clock tower western and southern elevations, looking northeast (up)
118	DSC_0118	Exterior, site plan, concrete carpark, general view looking northeast (up)
119	DSC_0119	Exterior, site plan, concrete carpark, general view looking southeast (up)
120	DSC_0120	Exterior, site plan, concrete carpark, general view looking southeast
121	DSC_0121	Exterior, site plan, concrete carpark, general view looking east
122	DSC_0122	Exterior, site plan, concrete carpark, soffit detail, looking southeast (up)
123	DSC_0123	Exterior, site plan, concrete carpark, general view looking east
124	DSC_0124	Exterior, site plan, concrete carpark, view of curved former canteen, looking southeast
125	DSC_0125	Exterior, site plan, concrete carpark, general view looking south (up)
126	DSC_0126	Exterior, site plan, concrete carpark, general view looking south
127	DSC_0127	Exterior, site plan, concrete carpark, view of curved former canteen, looking southeast
128	DSC_0128	Exterior, site plan, concrete carpark, view of curved former canteen, looking southwest

Site Name:		800 Pittwater Road, Dee Why NSW 2099
129	DSC_0129	Exterior, site plan, concrete carpark, view of curved former canteen, looking southwest
130	DSC_0130	Exterior, site plan, concrete carpark, general view looking southwest
131	DSC_0131	Exterior, site plan, concrete carpark, general view looking west
132	DSC_0132	Exterior, site plan, concrete carpark, general view looking southeast
133	DSC_0133	Exterior, site plan, concrete carpark, general view looking east
134	DSC_0134	Exterior, site plan, concrete carpark, general view looking east
135	DSC_0135	Exterior, site plan, concrete carpark, general view looking southwest
136	DSC_0136	Exterior, site plan, concrete carpark, general view looking west
137	DSC_0137	Exterior, site plan, concrete carpark, general view looking west
138	DSC_0138	Exterior, site plan, concrete carpark, general view looking west
139	DSC_0139	Exterior, site plan, concrete carpark, general view looking west
140	DSC_0140	Exterior, site plan, concrete carpark, 800 Pittwater Road western elevation, looking northeast
141	DSC_0141	Exterior, site plan, concrete carpark, 800 Pittwater Road western elevation, looking northeast
142	DSC_0142	Exterior, site plan, concrete carpark, general view looking east
143	DSC_0143	Exterior, site plan, concrete carpark, general view looking southwest
144	DSC_0144	Exterior, site plan, concrete carpark, general view looking west
145	DSC_0145	Exterior, site plan, concrete carpark, view of front entrance sign along Pittwater Road, looking northeast
146	DSC_0146	Exterior, site plan, concrete carpark, view of concrete bus shelter along Pittwater Road, looking northeast
147	DSC_0147	Exterior, site plan, concrete carpark, view of concrete bus shelter along Pittwater Road, looking southeast
148	DSC_0148	Exterior, site plan, concrete carpark, view of front entrance sign and retaining wall in front of 800 Pittwater Road, looking northeast
149	DSC_0149	Exterior, site plan, concrete carpark, view of 800 Pittwater Road western elevation from Pittwater Road, looking east

Site Name:		800 Pittwater Road, Dee Why NSW 2099
150	DSC_0150	Exterior, site plan, concrete carpark, view of 800 Pittwater Road western elevation from Pittwater Road, looking southeast
151	DSC_0151	Exterior, site plan, concrete carpark, view of footpath, retaining wall and vegetation along Pittwater Road, looking south
152	DSC_0152	Exterior, site plan, concrete carpark, view of footpath and Pittwater Road, looking south
153	DSC_0153	Exterior, site plan, concrete carpark, view across Pittwater Road, looking southwest
154	DSC_0154	Exterior, site plan, concrete carpark, view across Pittwater Road, looking northwest
155	DSC_0155	Exterior, site plan, concrete carpark, view along Pittwater Road, looking north



DSC_0001



DSC_0002



DSC_0003



DSC_0004



DSC_0005



DSC_0006



DSC_0007



DSC_0008



DSC_0009



DSC_0010



DSC_0011



DSC_0012



DSC_0013



DSC_0014



DSC_0015



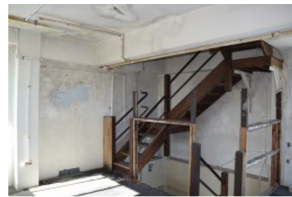
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DSC_0020



DSC_0021



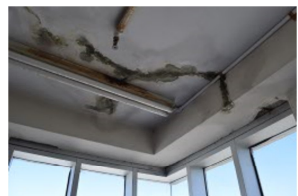
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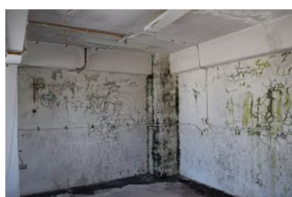
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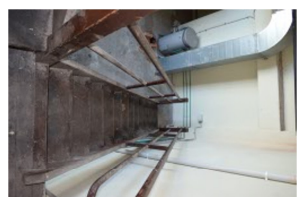
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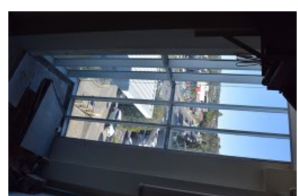
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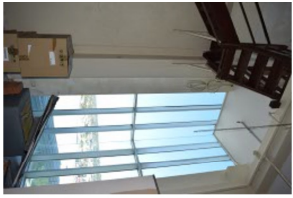
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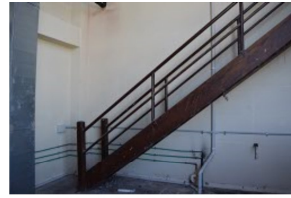
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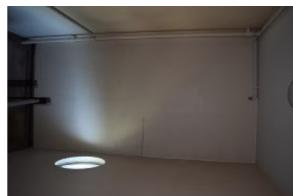
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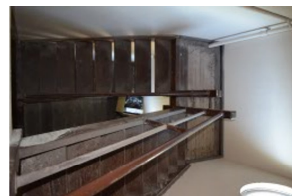
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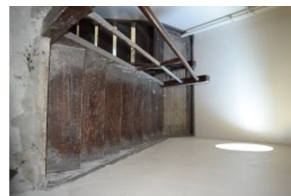
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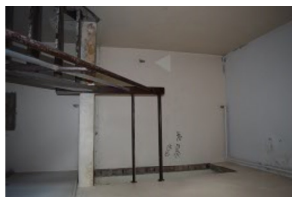
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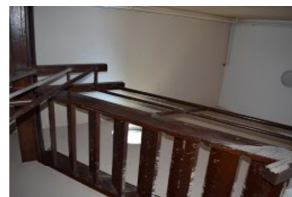
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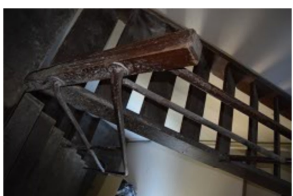
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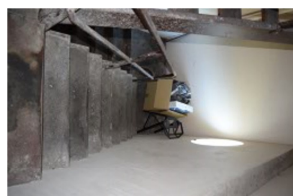
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DSC_0059



DSC_0060



DSC_0061



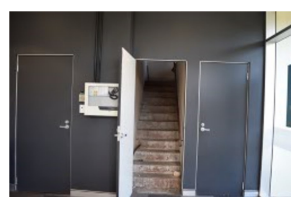
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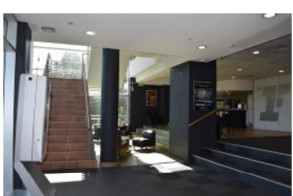
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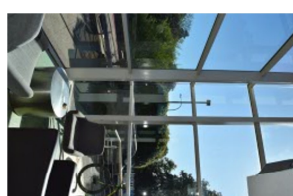
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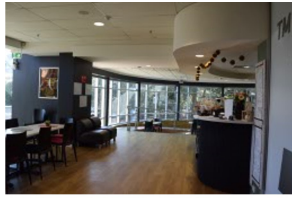
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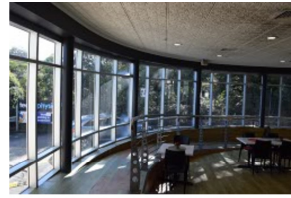
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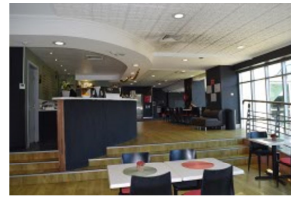
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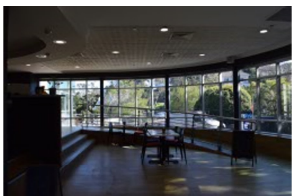
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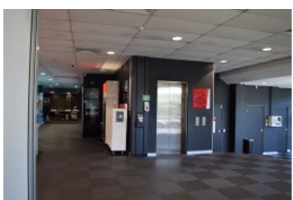
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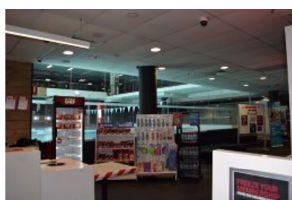
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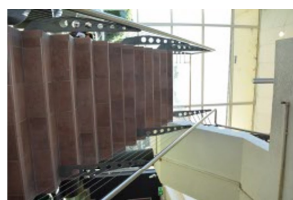
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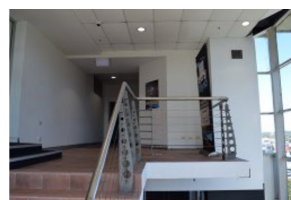
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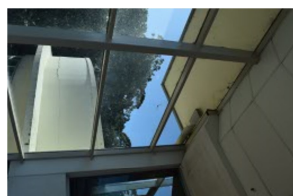
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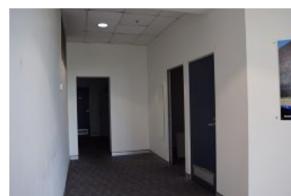
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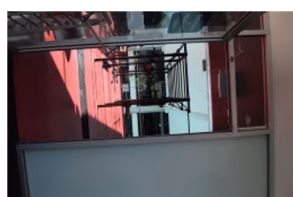
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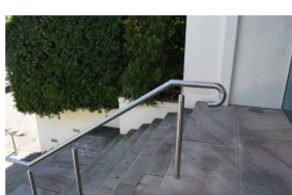
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DSC_0113



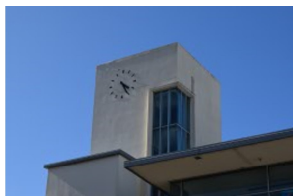
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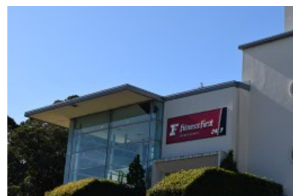
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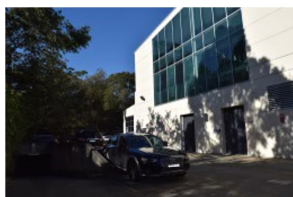
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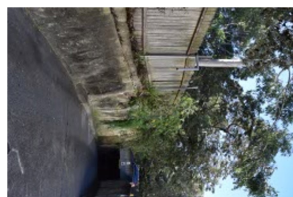
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DSC_0140



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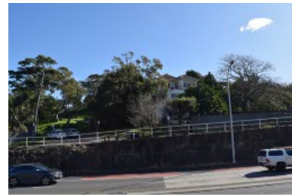
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